

29 MAY 23 04 11 31

# MEADOWBROOK FARMS

## FINAL PLAN - PHASE V - DESIGN PLANS

JULY 10, 2005  
 LAST REVISED 8-23-05

NORTH MIDDLETON TOWNSHIP

CUMBERLAND COUNTY \* PENNSYLVANIA

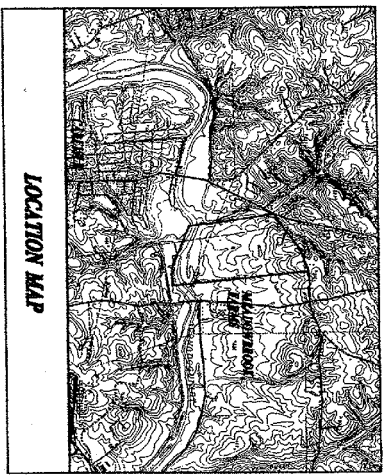
**Owner's Certification**

I, the undersigned, hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am the owner of the property described herein.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Witness: \_\_\_\_\_  
 Name: \_\_\_\_\_ Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Commission Expires: \_\_\_\_\_



175 Enterprise  
 State College  
 Phone: 814-338-2855  
 Fax: 814-338-2308

**Official Declaration**

I, the undersigned, hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am the owner of the property described herein.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

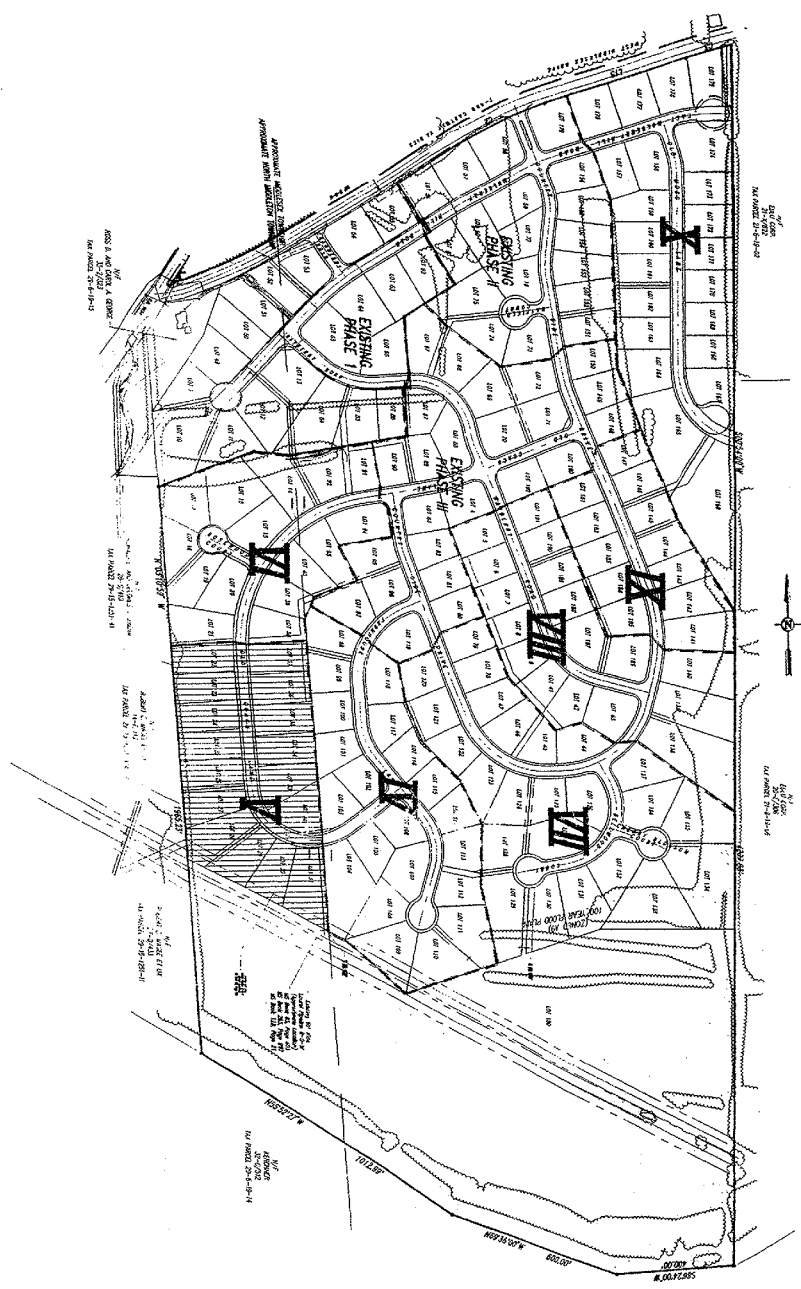
Witness: \_\_\_\_\_  
 Name: \_\_\_\_\_ Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Commission Expires: \_\_\_\_\_

1. Cover sheet
2. Final subdivision plan phase V
3. Final subdivision plan phase V
4. Utility & planting plan
5. Lot and road grading plan
6. Plan & profile - old concrete
7. General details
8. Water line construction details (standard)
9. Sewer construction details (standard)
10. Soil erosion & sediment pollution control plan
11. Soil erosion & sediment pollution control plan
12. Soil erosion & sediment pollution control narrative

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PHASING PLAN
3	FINAL SUBDIVISION PLAN PHASE V
4	FINAL SUBDIVISION PLAN PHASE V
5	UTILITY & PLANTING PLAN
6	LOT AND ROAD GRADING PLAN
7	PLAN & PROFILE - OLD CONCRETE
8	GENERAL DETAILS
9	WATER LINE CONSTRUCTION DETAILS (STANDARD)
10	SEWER CONSTRUCTION DETAILS (STANDARD)
11	SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN
12	SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN
13	SOIL EROSION & SEDIMENT POLLUTION CONTROL NARRATIVE

BK 92 Pg 10



**PennTerra**  
 ENGINEERING INC.  
 3072 OUTRIGGER BLVD.  
 SUITE 200  
 CHARLOTTE, NC 28216  
 (704) 541-1000  
 FAX (704) 541-1001  
 WWW.PENNTERRA.COM

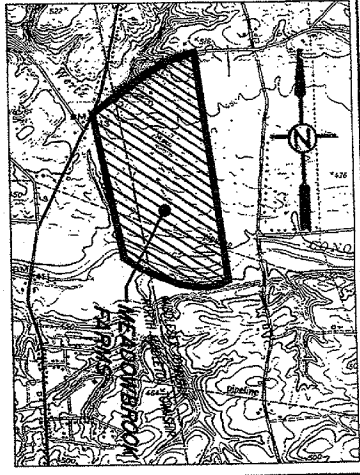
DATE: JULY 10, 2005  
 SCALE: 1"=200'  
 PROJECT NO: 89219-005  
 SHEET NO: 13

**MEADOWBROOK FARMS**  
 SUBDIVISION  
 WITH MULTIPLE ZONING CONSIDERATION

**FINAL PLAN**  
**PHASE V**

**PHASING PLAN**

2 of 13



Location Map  
SCALE: 1"=200'

**Owners Certification**

STATE OF PENNSYLVANIA  
 COMMONWEALTH  
 Notary Public  
 [Signature]  
 Owner

Personally appeared before me, a notary public in and for the State and County of the above and signed and acknowledged to be their act and deed, and desire the same to be recorded as such.

Witness my signature and seal this 21<sup>st</sup> day of January, 2006.

STATE OF PENNSYLVANIA  
 COMMONWEALTH  
 Notary Public  
 [Signature]  
 Commission Expires

**Owners Certification**

STATE OF PENNSYLVANIA  
 COMMONWEALTH  
 Notary Public  
 [Signature]  
 Owner

Personally appeared before me, a notary public in and for the State and County of the above and signed and acknowledged to be their act and deed, and desire the same to be recorded as such.

Witness my signature and seal this 21<sup>st</sup> day of January, 2006.

STATE OF PENNSYLVANIA  
 COMMONWEALTH  
 Notary Public  
 [Signature]  
 Commission Expires

**Owner's Statement**

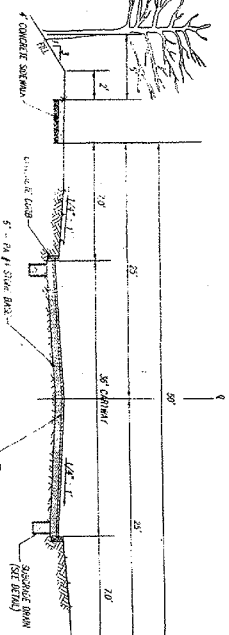
It is hereby certified that the undersigned has legal or equitable title to the land shown. All roads or streets shown herein, if not previously dedicated, are hereby offered for public use.

Owner: \_\_\_\_\_  
 Owner: \_\_\_\_\_  
 Owner: \_\_\_\_\_

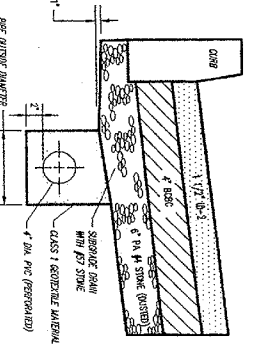
**Recorder of Deeds**

Recorded in the Office of the Recorder of Deeds of Cumberland County, Pennsylvania, in Plan Book \_\_\_\_\_ Page \_\_\_\_\_ on this the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

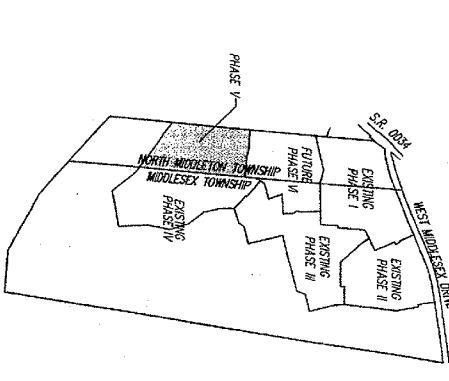
- Notes:
1. General Site Information:  
 a. Owner/Developer: Pennyc Development Co., Inc.  
 332 Deerp Joy  
 State College, PA 16801, PA 814-238-1978
  2. Source Information: Lot 26-27, Page 353 (General), Lot 28-31, Page 286 (Subdivision)  
 a. For Parcel 10: S. Shupper Residential (R-1)  
 b. Building Sublot Lines: Front 35', Side 10', Rear 35'
  3. Number of lots: 16  
 g. Total Acreage: Lots - 8.003 Ac., Roads - 0.955 Ac., Open Space - 0.100 Ac., Total - 9.058 Ac.
  4. Water: North Middleton Township Municipal Authority, PA (717) 243-0974  
 a. Sewer: North Middleton Township Municipal Authority, PA (717) 243-0974  
 b. Electric: Pennsylvania Electric Company of PA, 1170 Hershberg Pike, Carlisle, PA 17013, PA (717) 245-0542  
 c. Cable TV: TV Cable of Carlisle, 1312 Holly Pkwy, P.O. Box 36, Carlisle, PA 17013, PA (717) 245-4918  
 f. Gas: U.S.G.I. Corporation, 25 West High Street, Carlisle, PA 17013, PA (717) 255-1421
  5. Contours & elevations shown are based on U.S.G.S. Datum (BM 413 on Carlisle Quadrangle - 7.5 Minute Scale)
  6. D.E.P. Storage Planning Notices have been approved for the phases - Reference D.E.P. Code No. P-3-21920-008 II for North Middleton Township and P-3-21915-012 II for Middlesex Township.
  7. There is a 10' wide utility/sewer/easement along the front of each lot.
  8. For further information, reference the following phases:  
 a. Meadowbrook Farms Preliminary Plan, approved by Middlesex Township on December 6, 1995 and North Middleton Township on November 21, 1995.  
 b. Meadowbrook Farms - Final Subdivision Plan dated June 6, 1996 (Sheets 1-12)  
 c. Meadowbrook Farms - Final Subdivision Plan, dated June 6, 1996 and recorded on Sep. 5, 1997, in Cumberland County in Plan Book 75, Page 65.  
 d. Meadowbrook Farms - Phase 2 Final Plan Design Plans dated June 6, 1996 (Sheets 1-12)  
 e. Meadowbrook Farms - Final Subdivision Plan Phase 2, dated June 6, 1996 and recorded on Sep. 5, 1997, in Cumberland County in Plan Book 75, Page 65.  
 f. Meadowbrook Farms - Final Subdivision Plan Phase 3, dated October 17, 2000.  
 g. Meadowbrook Farms - Final Subdivision Plan Phase 4, dated September 24, 2004.
  9. There are no wetland boundaries within Phase V of Meadowbrook.



TYPICAL STREET CROSS SECTION  
 36'-0" WIDE



SUBGRADE DRAIN  
 (SEE ROAD SPECIFICATIONS FOR DETAILS)  
 4" DIA. PIPES FOR 4" DIA. DRAINAGE  
 4" DIA. PIPES FOR 4" DIA. DRAINAGE  
 4" DIA. PIPES FOR 4" DIA. DRAINAGE



Prasing Plan  
 SCALE: 1"=200'

**North Middleton Township Planning Commission**

Recommended for approval by the Middlesex Township Planning Commission this 21<sup>st</sup> day of January, 2006.  
 [Signature]  
 Chairman  
 [Signature]  
 Secretary

**Cumberland County Planning Commission**

Recommended for approval by the Cumberland County Planning Commission this 21<sup>st</sup> day of January, 2006.  
 [Signature]  
 Chairman  
 [Signature]  
 Secretary

**North Middleton Township Board of Supervisors**

Approved or conditionally approved the 21<sup>st</sup> day of January, 2006, by the NORTH MIDDLETON TOWNSHIP BOARD OF SUPERVISORS all conditions if any imposed with respect to such approval have been met on this 21<sup>st</sup> day of January, 2006.  
 [Signature]  
 Chairman  
 [Signature]  
 Township Secretary

**Professional Land Surveyor Certification**

I, B. K. BEYERS, a Professional Land Surveyor in the Commonwealth of Pennsylvania, hereby certify that this plan conforms to the terms of the Act of September 26, 1968, P.L. 400, Act No. 127, as amended, and that I am duly licensed under the Act of September 26, 1968, P.L. 400, Act No. 127, as amended.  
 [Signature]  
 B. K. BEYERS  
 Date: Jan 17, 2006

**Professional Engineer Certification**

The undersigned, a registered professional engineer in the Commonwealth of Pennsylvania, hereby certifies that this plan conforms to the information required by Section 6103 of the Pennsylvania Uniform Planned Community Act, 68 Pa. C.S. § 6103.  
 [Signature]  
 Date: Jan 17, 2006



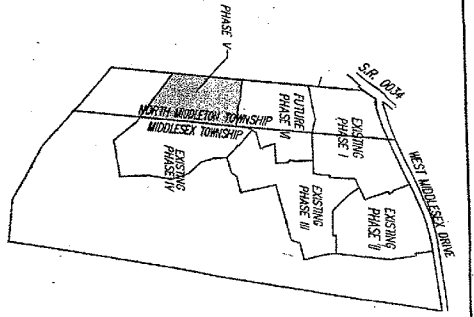
**PennTerra**  
 ENGINEERING INC.  
 3075 Enterprise drive  
 State College, PA  
 16801  
 Tel. 814-237-2308  
 Fax. 814-237-2308

**PAINTERS**  
 BARRY K. GIBBESS  
 1000 N. STATE ST.  
 STATE COLLEGE, PA  
 16801  
 Tel. 814-237-2308  
 Fax. 814-237-2308

Design: JAW  
 Draft: JAW  
 Survey: BBK  
 PL Check: \_\_\_\_\_  
 Map Check: \_\_\_\_\_  
 Date: 01-21-06  
 Rev: 21-02

**MEADOWBROOK FARMS**  
 NORTH MIDDLETON TOWNSHIP  
 CUMBERLAND COUNTY  
 PENNSYLVANIA

**FINAL SUBDIVISION PLAN PHASE V**  
 Date: JUNE 20, 2005  
 Scale: AS-SHOWN  
 Project No.: 89219-105  
 Sheet No.: 3 of 13



PHASE V  
 PLANNING PLAN  
 SCALE 1"=500'

**Professional Land Surveyor Certification**  
 I, B. K. Banters, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the facts of lands as shown.  
 Signature: B. K. Banters  
 Date: June 15, 2005

EXISTING LOT DATA

LOT	AREA	OWNER
E1	10.00	UNDEVELOPED
E2	10.00	UNDEVELOPED
E3	10.00	UNDEVELOPED
E4	10.00	UNDEVELOPED
E5	10.00	UNDEVELOPED
E6	10.00	UNDEVELOPED
E7	10.00	UNDEVELOPED
E8	10.00	UNDEVELOPED
E9	10.00	UNDEVELOPED
E10	10.00	UNDEVELOPED
E11	10.00	UNDEVELOPED
E12	10.00	UNDEVELOPED
E13	10.00	UNDEVELOPED
E14	10.00	UNDEVELOPED
E15	10.00	UNDEVELOPED
E16	10.00	UNDEVELOPED
E17	10.00	UNDEVELOPED
E18	10.00	UNDEVELOPED
E19	10.00	UNDEVELOPED
E20	10.00	UNDEVELOPED
E21	10.00	UNDEVELOPED
E22	10.00	UNDEVELOPED
E23	10.00	UNDEVELOPED
E24	10.00	UNDEVELOPED
E25	10.00	UNDEVELOPED
E26	10.00	UNDEVELOPED
E27	10.00	UNDEVELOPED
E28	10.00	UNDEVELOPED
E29	10.00	UNDEVELOPED
E30	10.00	UNDEVELOPED
E31	10.00	UNDEVELOPED
E32	10.00	UNDEVELOPED
E33	10.00	UNDEVELOPED
E34	10.00	UNDEVELOPED
E35	10.00	UNDEVELOPED
E36	10.00	UNDEVELOPED
E37	10.00	UNDEVELOPED
E38	10.00	UNDEVELOPED
E39	10.00	UNDEVELOPED
E40	10.00	UNDEVELOPED
E41	10.00	UNDEVELOPED
E42	10.00	UNDEVELOPED
E43	10.00	UNDEVELOPED
E44	10.00	UNDEVELOPED
E45	10.00	UNDEVELOPED
E46	10.00	UNDEVELOPED
E47	10.00	UNDEVELOPED
E48	10.00	UNDEVELOPED
E49	10.00	UNDEVELOPED
E50	10.00	UNDEVELOPED
E51	10.00	UNDEVELOPED
E52	10.00	UNDEVELOPED
E53	10.00	UNDEVELOPED
E54	10.00	UNDEVELOPED
E55	10.00	UNDEVELOPED
E56	10.00	UNDEVELOPED
E57	10.00	UNDEVELOPED
E58	10.00	UNDEVELOPED
E59	10.00	UNDEVELOPED
E60	10.00	UNDEVELOPED
E61	10.00	UNDEVELOPED
E62	10.00	UNDEVELOPED
E63	10.00	UNDEVELOPED
E64	10.00	UNDEVELOPED
E65	10.00	UNDEVELOPED
E66	10.00	UNDEVELOPED
E67	10.00	UNDEVELOPED
E68	10.00	UNDEVELOPED
E69	10.00	UNDEVELOPED
E70	10.00	UNDEVELOPED
E71	10.00	UNDEVELOPED
E72	10.00	UNDEVELOPED
E73	10.00	UNDEVELOPED
E74	10.00	UNDEVELOPED
E75	10.00	UNDEVELOPED
E76	10.00	UNDEVELOPED
E77	10.00	UNDEVELOPED
E78	10.00	UNDEVELOPED
E79	10.00	UNDEVELOPED
E80	10.00	UNDEVELOPED
E81	10.00	UNDEVELOPED
E82	10.00	UNDEVELOPED
E83	10.00	UNDEVELOPED
E84	10.00	UNDEVELOPED
E85	10.00	UNDEVELOPED
E86	10.00	UNDEVELOPED
E87	10.00	UNDEVELOPED
E88	10.00	UNDEVELOPED
E89	10.00	UNDEVELOPED
E90	10.00	UNDEVELOPED
E91	10.00	UNDEVELOPED
E92	10.00	UNDEVELOPED
E93	10.00	UNDEVELOPED
E94	10.00	UNDEVELOPED
E95	10.00	UNDEVELOPED
E96	10.00	UNDEVELOPED
E97	10.00	UNDEVELOPED
E98	10.00	UNDEVELOPED
E99	10.00	UNDEVELOPED
E100	10.00	UNDEVELOPED

LEGEND

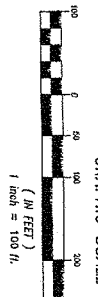
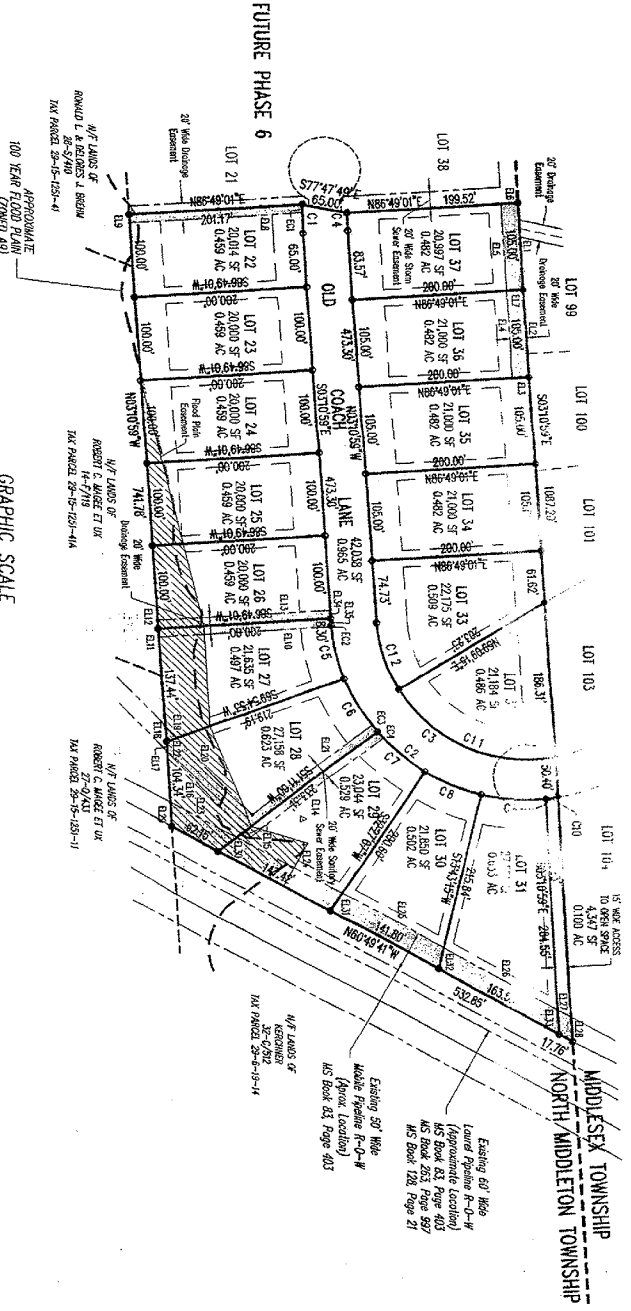
- 1/2" to be set
- Building Setback Line

UNDEVELOPED LOT DATA

LOT	AREA	OWNER
U1	10.00	UNDEVELOPED
U2	10.00	UNDEVELOPED
U3	10.00	UNDEVELOPED
U4	10.00	UNDEVELOPED
U5	10.00	UNDEVELOPED
U6	10.00	UNDEVELOPED
U7	10.00	UNDEVELOPED
U8	10.00	UNDEVELOPED
U9	10.00	UNDEVELOPED
U10	10.00	UNDEVELOPED
U11	10.00	UNDEVELOPED
U12	10.00	UNDEVELOPED
U13	10.00	UNDEVELOPED
U14	10.00	UNDEVELOPED
U15	10.00	UNDEVELOPED
U16	10.00	UNDEVELOPED
U17	10.00	UNDEVELOPED
U18	10.00	UNDEVELOPED
U19	10.00	UNDEVELOPED
U20	10.00	UNDEVELOPED
U21	10.00	UNDEVELOPED
U22	10.00	UNDEVELOPED
U23	10.00	UNDEVELOPED
U24	10.00	UNDEVELOPED
U25	10.00	UNDEVELOPED
U26	10.00	UNDEVELOPED
U27	10.00	UNDEVELOPED
U28	10.00	UNDEVELOPED
U29	10.00	UNDEVELOPED
U30	10.00	UNDEVELOPED
U31	10.00	UNDEVELOPED
U32	10.00	UNDEVELOPED
U33	10.00	UNDEVELOPED
U34	10.00	UNDEVELOPED
U35	10.00	UNDEVELOPED
U36	10.00	UNDEVELOPED
U37	10.00	UNDEVELOPED
U38	10.00	UNDEVELOPED
U39	10.00	UNDEVELOPED
U40	10.00	UNDEVELOPED
U41	10.00	UNDEVELOPED
U42	10.00	UNDEVELOPED
U43	10.00	UNDEVELOPED
U44	10.00	UNDEVELOPED
U45	10.00	UNDEVELOPED
U46	10.00	UNDEVELOPED
U47	10.00	UNDEVELOPED
U48	10.00	UNDEVELOPED
U49	10.00	UNDEVELOPED
U50	10.00	UNDEVELOPED
U51	10.00	UNDEVELOPED
U52	10.00	UNDEVELOPED
U53	10.00	UNDEVELOPED
U54	10.00	UNDEVELOPED
U55	10.00	UNDEVELOPED
U56	10.00	UNDEVELOPED
U57	10.00	UNDEVELOPED
U58	10.00	UNDEVELOPED
U59	10.00	UNDEVELOPED
U60	10.00	UNDEVELOPED
U61	10.00	UNDEVELOPED
U62	10.00	UNDEVELOPED
U63	10.00	UNDEVELOPED
U64	10.00	UNDEVELOPED
U65	10.00	UNDEVELOPED
U66	10.00	UNDEVELOPED
U67	10.00	UNDEVELOPED
U68	10.00	UNDEVELOPED
U69	10.00	UNDEVELOPED
U70	10.00	UNDEVELOPED
U71	10.00	UNDEVELOPED
U72	10.00	UNDEVELOPED
U73	10.00	UNDEVELOPED
U74	10.00	UNDEVELOPED
U75	10.00	UNDEVELOPED
U76	10.00	UNDEVELOPED
U77	10.00	UNDEVELOPED
U78	10.00	UNDEVELOPED
U79	10.00	UNDEVELOPED
U80	10.00	UNDEVELOPED
U81	10.00	UNDEVELOPED
U82	10.00	UNDEVELOPED
U83	10.00	UNDEVELOPED
U84	10.00	UNDEVELOPED
U85	10.00	UNDEVELOPED
U86	10.00	UNDEVELOPED
U87	10.00	UNDEVELOPED
U88	10.00	UNDEVELOPED
U89	10.00	UNDEVELOPED
U90	10.00	UNDEVELOPED
U91	10.00	UNDEVELOPED
U92	10.00	UNDEVELOPED
U93	10.00	UNDEVELOPED
U94	10.00	UNDEVELOPED
U95	10.00	UNDEVELOPED
U96	10.00	UNDEVELOPED
U97	10.00	UNDEVELOPED
U98	10.00	UNDEVELOPED
U99	10.00	UNDEVELOPED
U100	10.00	UNDEVELOPED

NOTE: Plans shown were taken from flood insurance rate map, Township of Middlesex, Pennsylvania, Cumberland County Parcel 15 of 15, Flood Plain shown was taken from flood insurance rate map, Township of Middlesex, Pennsylvania, Cumberland County Parcel 15 of 15, Community-Prone Number 42033 0015 R, Effective Date: June 15, 1981.

EXISTING PHASE 4



**Pentterra ENGINEERING INC.**  
 3075 Enterprise Drive  
 State College, PA 16801  
 Ph: 814-231-8286  
 Fax: 814-237-2308

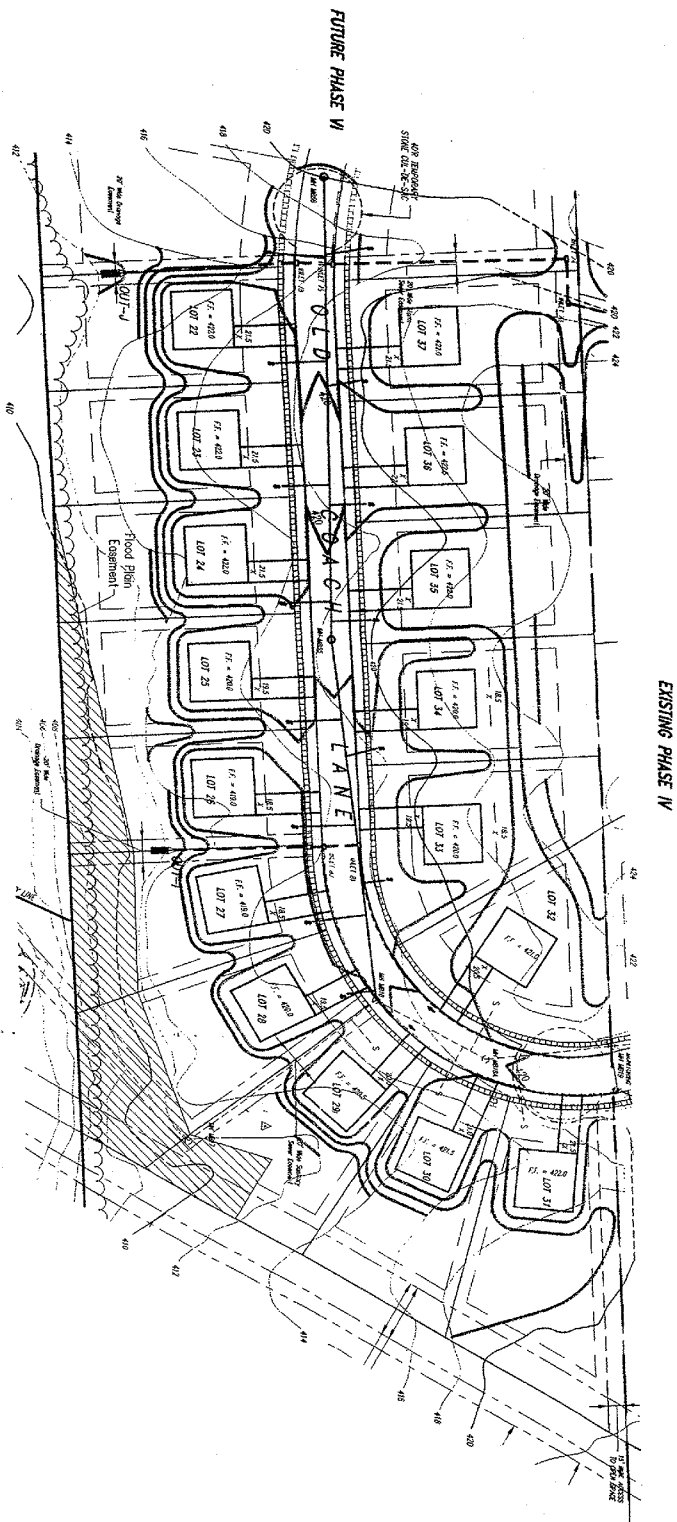
**MEADOWBROOK FARMS**  
 NORTH MIDDLETON TOWNSHIP  
 CUMBERLAND COUNTY  
 PENNSYLVANIA

**FINAL SUBDIVISION PLAN PHASE V**

Date: JUNE 20, 2005  
 Scale: 1"=100'  
 Project No.: 89219-105  
 Sheet No.: 4 of 13

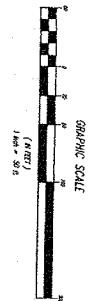
Designer: JAW  
 Drafter: JAW  
 Surveyor: BRK  
 PA Check: JLB/BRK, SML  
 Book: 354, Pg: 21  
 Area: 89219-5000-10-dwg





EXISTING PHASE IV

FUTURE PHASE VI



LEGEND

	PROPERTY LINE		PROPOSED 4' CONC. SIDEWALK
	EASEMENT LINE		PROPOSED DRIVEWAY LINE
	100 YEAR FLOOD PLAIN BOUNDARY		EXISTING DRIVEWAY LINE
	EASING OF SLIP BARRIER		PROPOSED DRIVE
	EXISTING SANDWICH SIGN		EXISTING CURB

NOTE:  
THE GRADING OF THE PROPOSED LOT# WILL BE THE RESPONSIBILITY OF THE APPLICANT. ALL PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE GRADING MANUAL AND SHALL BE COMPLETED AFTER THE REVIEW AND APPROVAL OF THE TOWNSHIP.

**Pentlita**  
ENGINEERING & ARCHITECTURE  
3001 E. 10th Street, Suite 200  
Mesa, AZ 85203  
Phone: 480.839.1100  
Fax: 480.839.1101  
www.pentlita.com

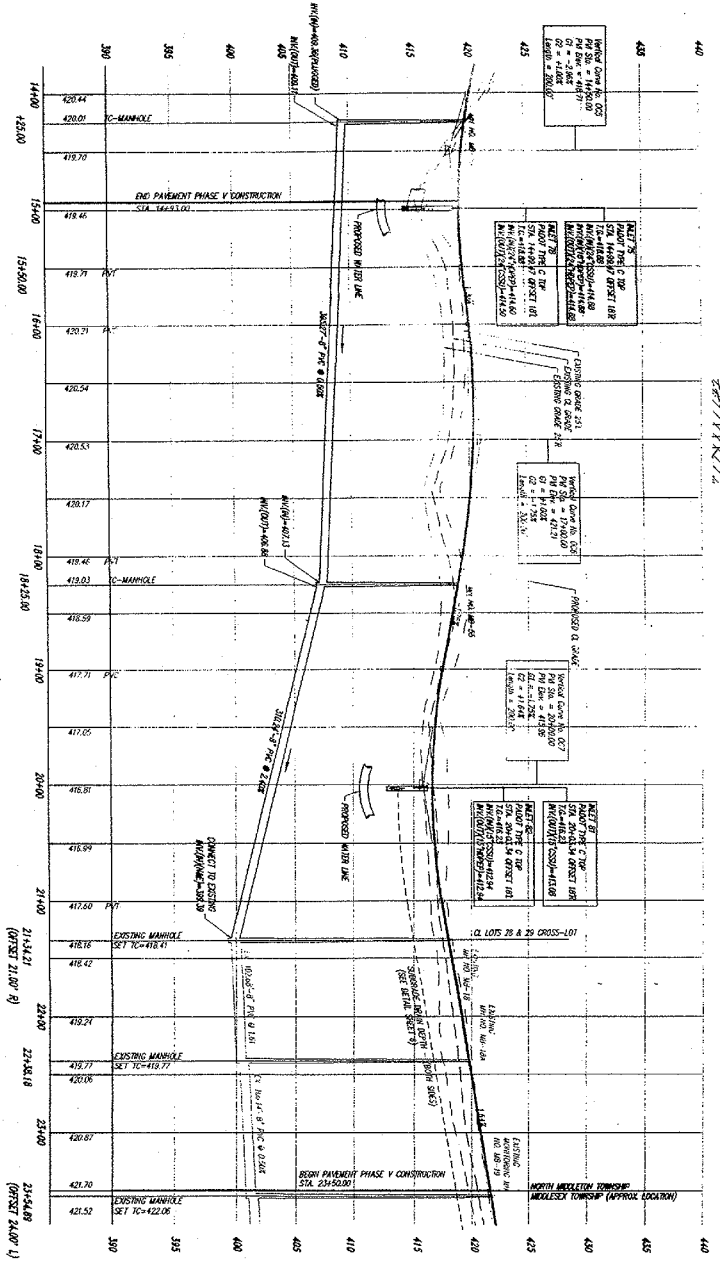
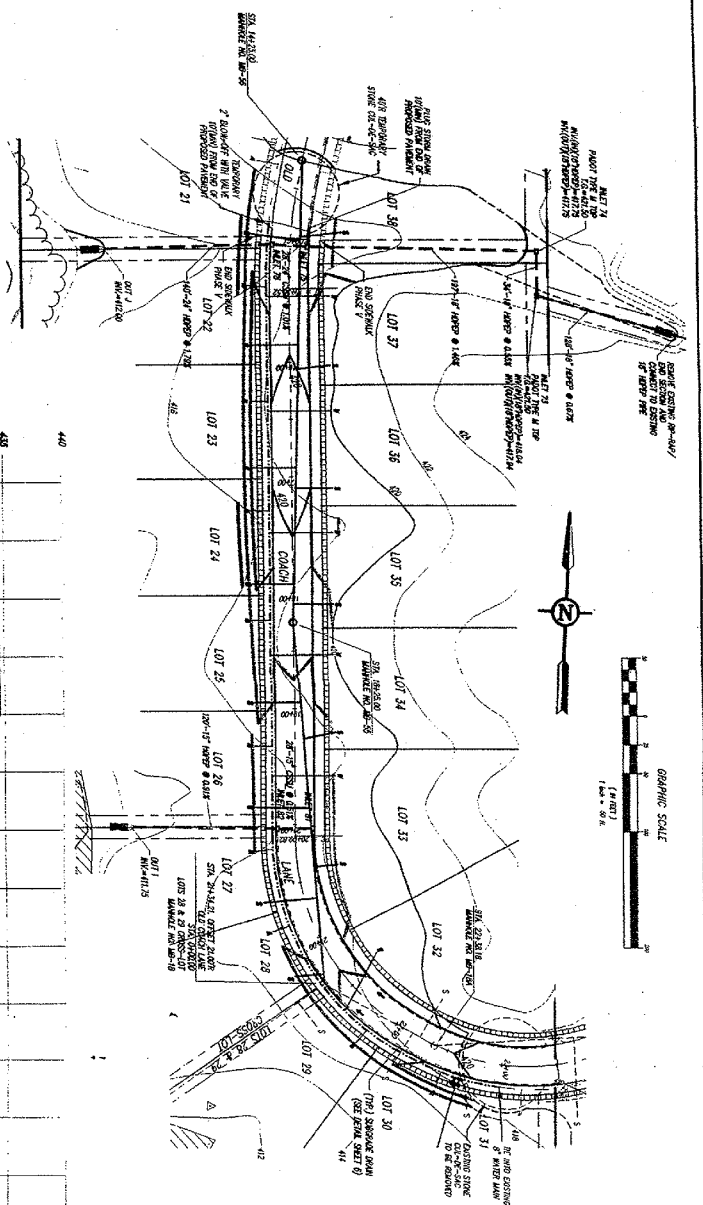
DATE: 07-10-2005 11:05  
DRAWN BY: [Name]

Project No.	88219-0
Scale	AS SHOWN
Rev.	6 of 13

**MEADOWBROOK FARMS SUBDIVISION PLAN**  
FINAL PLAN PHASE V

LOT & ROAD GRADING PLAN  
DATE: JULY 10, 2005  
SCALE: 1" = 50'

DATE:	JULY 10, 2005
SCALE:	1" = 50'
PROJECT NO.:	88219-0
SHEET NO.:	6 of 13



- LEGEND**
- PROPOSED WATER LINE
  - PROPOSED 4" CONC. SEWER
  - PROPOSED 6" CONC. SEWER
  - PROPOSED 8" CONC. SEWER
  - PROPOSED 12" CONC. SEWER
  - PROPOSED 18" CONC. SEWER
  - PROPOSED 24" CONC. SEWER
  - PROPOSED 30" CONC. SEWER
  - PROPOSED 36" CONC. SEWER
  - PROPOSED 42" CONC. SEWER
  - PROPOSED 48" CONC. SEWER
  - PROPOSED 54" CONC. SEWER
  - PROPOSED 60" CONC. SEWER
  - PROPOSED 66" CONC. SEWER
  - PROPOSED 72" CONC. SEWER
  - PROPOSED 78" CONC. SEWER
  - PROPOSED 84" CONC. SEWER
  - PROPOSED 90" CONC. SEWER
  - PROPOSED 96" CONC. SEWER
  - PROPOSED 102" CONC. SEWER
  - PROPOSED 108" CONC. SEWER
  - PROPOSED 114" CONC. SEWER
  - PROPOSED 120" CONC. SEWER
  - PROPOSED 126" CONC. SEWER
  - PROPOSED 132" CONC. SEWER
  - PROPOSED 138" CONC. SEWER
  - PROPOSED 144" CONC. SEWER
  - PROPOSED 150" CONC. SEWER
  - PROPOSED 156" CONC. SEWER
  - PROPOSED 162" CONC. SEWER
  - PROPOSED 168" CONC. SEWER
  - PROPOSED 174" CONC. SEWER
  - PROPOSED 180" CONC. SEWER
  - PROPOSED 186" CONC. SEWER
  - PROPOSED 192" CONC. SEWER
  - PROPOSED 198" CONC. SEWER
  - PROPOSED 204" CONC. SEWER
  - PROPOSED 210" CONC. SEWER
  - PROPOSED 216" CONC. SEWER
  - PROPOSED 222" CONC. SEWER
  - PROPOSED 228" CONC. SEWER
  - PROPOSED 234" CONC. SEWER
  - PROPOSED 240" CONC. SEWER
  - PROPOSED 246" CONC. SEWER
  - PROPOSED 252" CONC. SEWER
  - PROPOSED 258" CONC. SEWER
  - PROPOSED 264" CONC. SEWER
  - PROPOSED 270" CONC. SEWER
  - PROPOSED 276" CONC. SEWER
  - PROPOSED 282" CONC. SEWER
  - PROPOSED 288" CONC. SEWER
  - PROPOSED 294" CONC. SEWER
  - PROPOSED 300" CONC. SEWER
  - PROPOSED 306" CONC. SEWER
  - PROPOSED 312" CONC. SEWER
  - PROPOSED 318" CONC. SEWER
  - PROPOSED 324" CONC. SEWER
  - PROPOSED 330" CONC. SEWER
  - PROPOSED 336" CONC. SEWER
  - PROPOSED 342" CONC. SEWER
  - PROPOSED 348" CONC. SEWER
  - PROPOSED 354" CONC. SEWER
  - PROPOSED 360" CONC. SEWER
  - PROPOSED 366" CONC. SEWER
  - PROPOSED 372" CONC. SEWER
  - PROPOSED 378" CONC. SEWER
  - PROPOSED 384" CONC. SEWER
  - PROPOSED 390" CONC. SEWER
  - PROPOSED 396" CONC. SEWER
  - PROPOSED 402" CONC. SEWER
  - PROPOSED 408" CONC. SEWER
  - PROPOSED 414" CONC. SEWER
  - PROPOSED 420" CONC. SEWER
  - PROPOSED 426" CONC. SEWER
  - PROPOSED 432" CONC. SEWER
  - PROPOSED 438" CONC. SEWER
  - PROPOSED 444" CONC. SEWER

**PLAN AND PROFILE**  
**OLD COACH LAKE**  
 STA. 14+93.00  
 TO  
 STA. 23+50.00

Date: JULY 10, 2005  
 Scale: HORIZONTAL 1"=50'  
 VERTICAL 1"=5'

Project No. 09173-105  
 Sheet No. 7 of 13

**WADSWORTH TOWNSHIP**  
**FINAL PLAN**  
**PHASE V**

APPROVED FOR CONSTRUCTION  
 SUPERVISOR

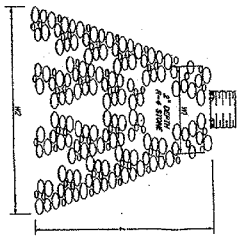
**WADSWORTH TOWNSHIP**  
**PHASE V**

APPROVED FOR CONSTRUCTION  
 SUPERVISOR

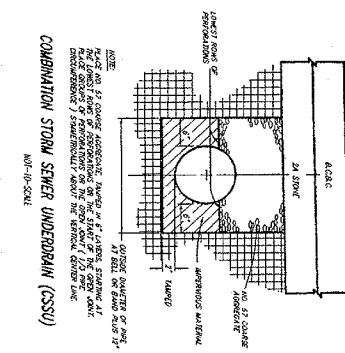
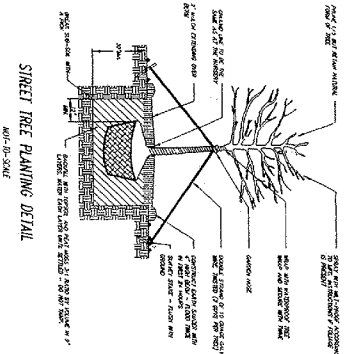
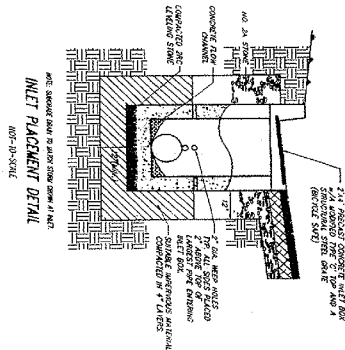
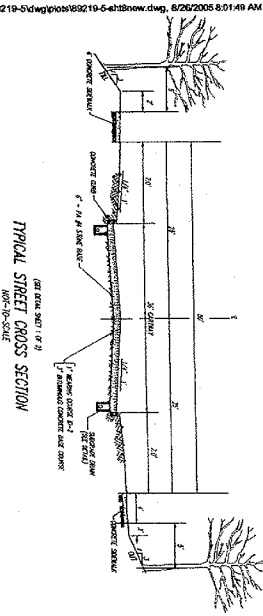
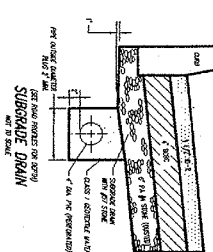
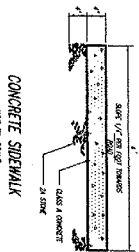
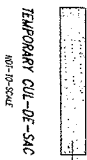
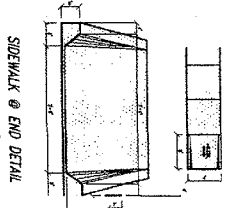
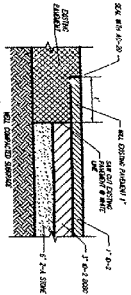
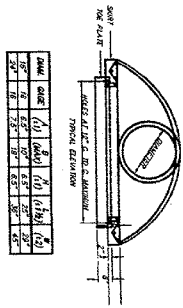
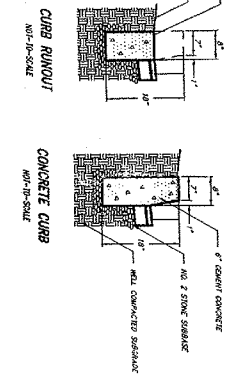
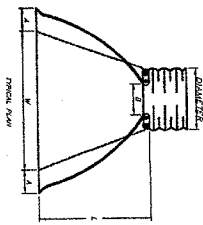
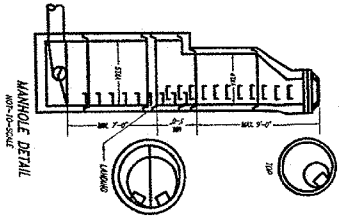
**WADSWORTH TOWNSHIP**  
**PHASE V**

APPROVED FOR CONSTRUCTION  
 SUPERVISOR

**Peniteta**  
 ENGINEERING INC.  
 2015 GARDNER DRIVE  
 SUITE 200  
 WADSWORTH, OHIO 44157  
 PH: 440.933.2500  
 FAX: 440.933.2505  
 WWW.PENITETA.COM



DATE	NO.	DESCRIPTION
07/10/05	1	ISSUED FOR PERMITS
07/10/05	2	ISSUED FOR PERMITS
07/10/05	3	ISSUED FOR PERMITS
07/10/05	4	ISSUED FOR PERMITS
07/10/05	5	ISSUED FOR PERMITS
07/10/05	6	ISSUED FOR PERMITS
07/10/05	7	ISSUED FOR PERMITS
07/10/05	8	ISSUED FOR PERMITS
07/10/05	9	ISSUED FOR PERMITS
07/10/05	10	ISSUED FOR PERMITS



**Periterra**  
ENGINEERING, INC.  
3024 DUNDAS STREET WEST  
SUITE 100  
MISSISSAUGA, ONTARIO L4V 1W1  
TEL: 905-277-1111  
FAX: 905-277-1112  
WWW.PERITERRA.COM

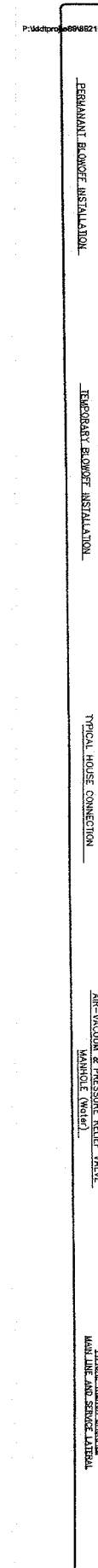
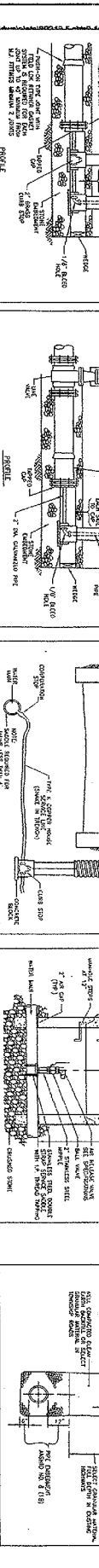
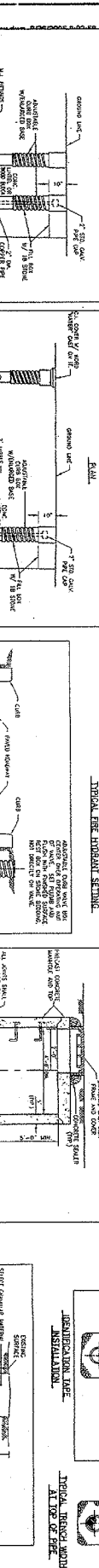
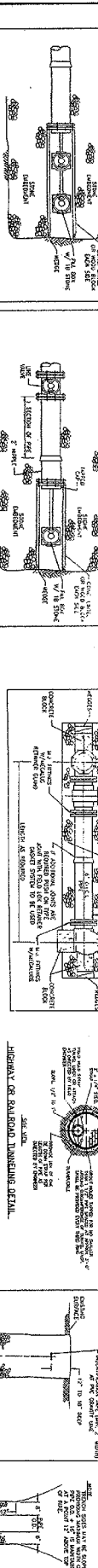
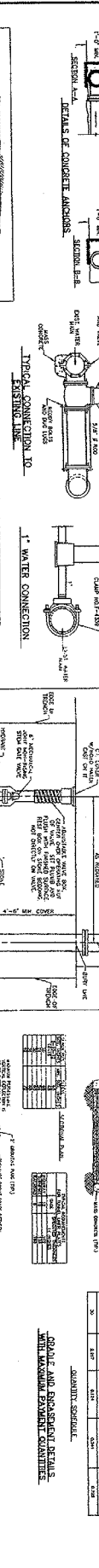
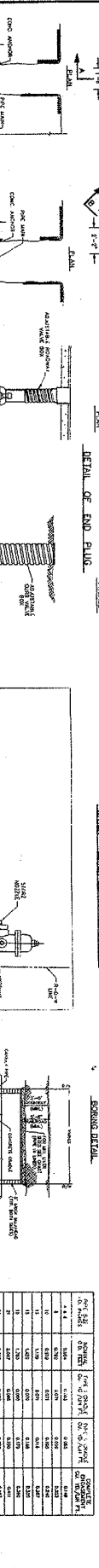
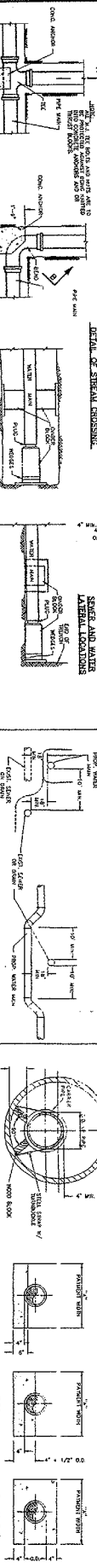
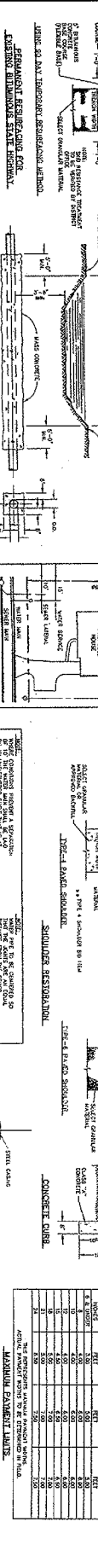
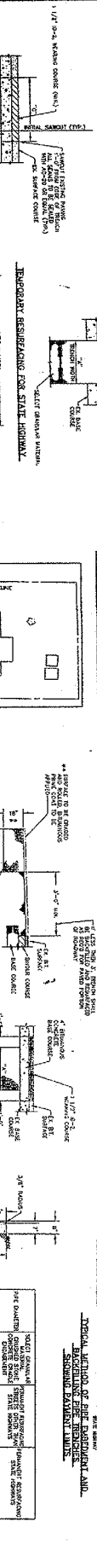
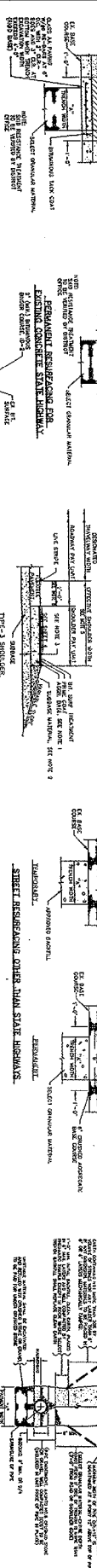
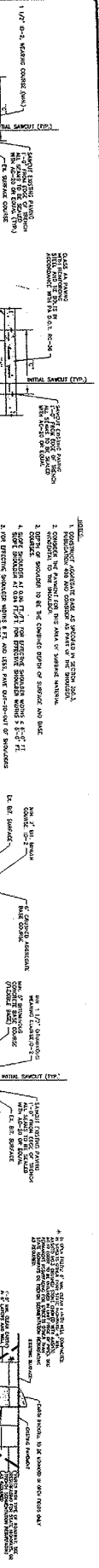
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_  
PROJECT NO.: \_\_\_\_\_  
SHEET NO.: \_\_\_\_\_

**MEADOWBROOK FARMS SUBDIVISION**  
40TH AND 10TH AVENUE  
CONVERSION AND  
RECONSTRUCTION  
FINAL PLAN  
PHASE V

DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_  
PROJECT NO.: \_\_\_\_\_  
SHEET NO.: \_\_\_\_\_

DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_  
PROJECT NO.: \_\_\_\_\_  
SHEET NO.: \_\_\_\_\_



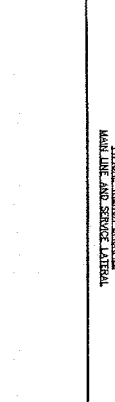
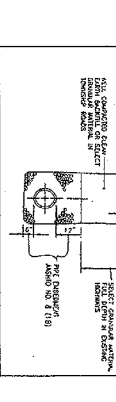
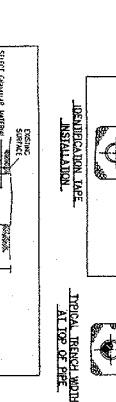
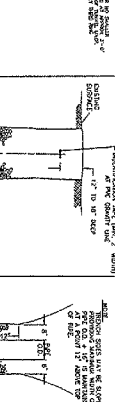
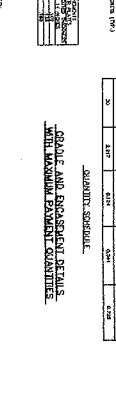
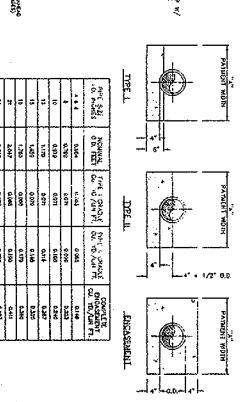


**QUANTITY SCHEDULE**

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	10.00	CU YD
2	REINFORCING BARS	100.00	LB
3	ANCHOR BOLTS	10.00	EA
4	WATER STOP	10.00	EA
5	GROUT	10.00	CU YD
6	STEEL BEAM	10.00	LB
7	CONCRETE ANCHOR	10.00	EA
8	ANCHOR BOLT	10.00	EA
9	WATER STOP	10.00	EA
10	GROUT	10.00	CU YD
11	STEEL BEAM	10.00	LB
12	CONCRETE ANCHOR	10.00	EA
13	ANCHOR BOLT	10.00	EA
14	WATER STOP	10.00	EA
15	GROUT	10.00	CU YD
16	STEEL BEAM	10.00	LB
17	CONCRETE ANCHOR	10.00	EA
18	ANCHOR BOLT	10.00	EA
19	WATER STOP	10.00	EA
20	GROUT	10.00	CU YD

**DETAILS OF PERMANENT AND TEMPORARY BLOWER INSTALLATION**

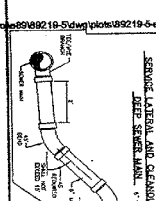
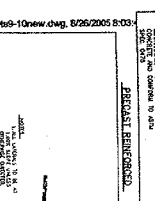
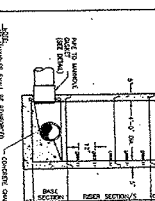
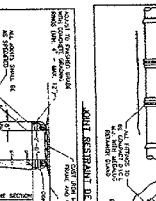
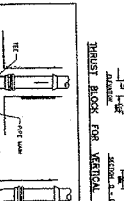
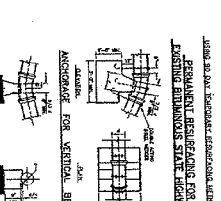
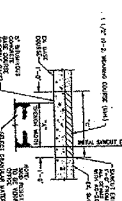
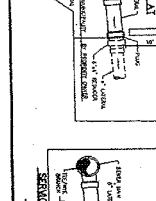
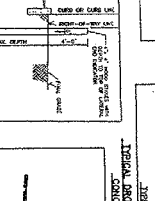
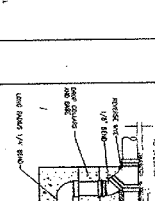
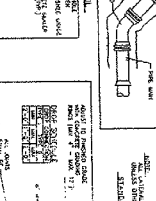
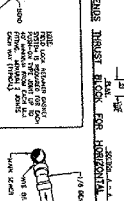
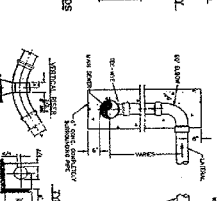
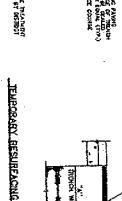
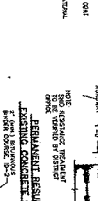
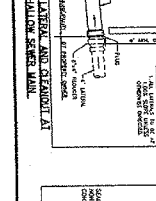
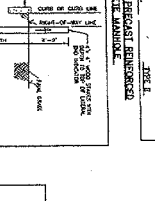
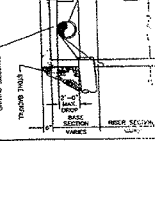
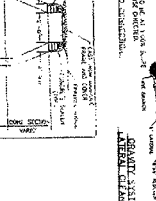
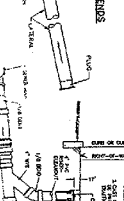
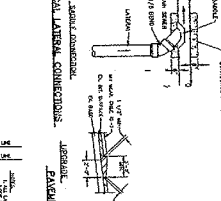
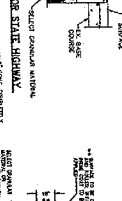
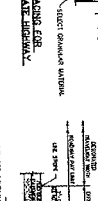
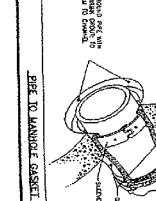
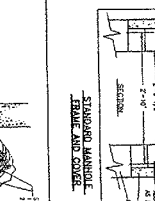
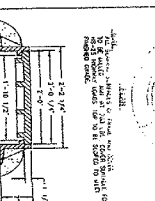
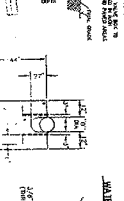
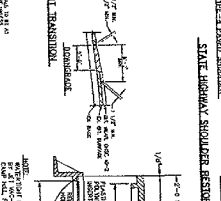
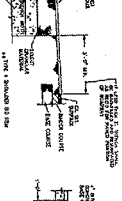
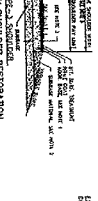
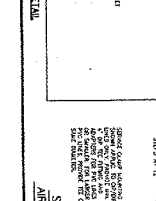
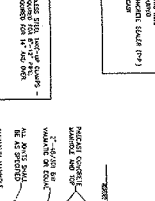
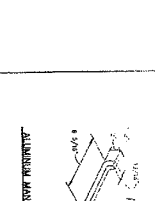
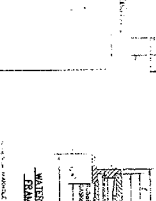
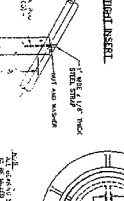
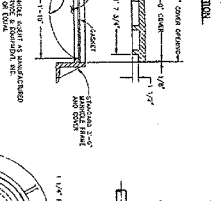
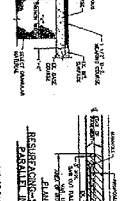
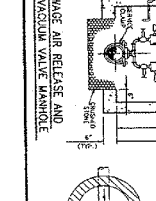
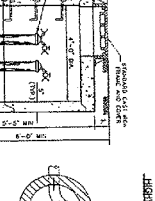
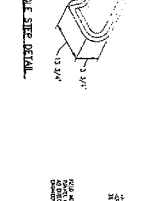
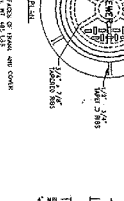
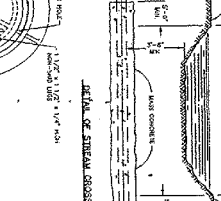
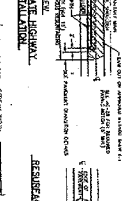
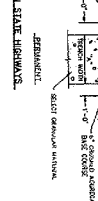
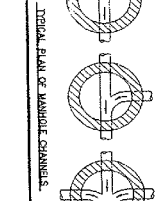
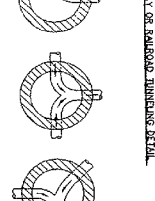
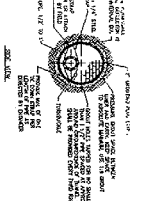
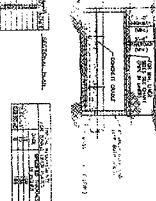
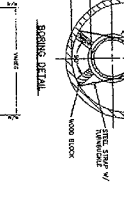
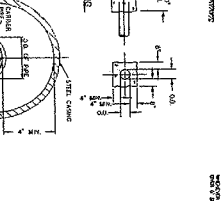
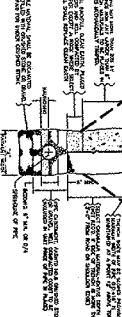
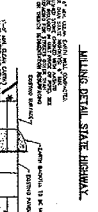
NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	10.00	CU YD
2	REINFORCING BARS	100.00	LB
3	ANCHOR BOLTS	10.00	EA
4	WATER STOP	10.00	EA
5	GROUT	10.00	CU YD
6	STEEL BEAM	10.00	LB
7	CONCRETE ANCHOR	10.00	EA
8	ANCHOR BOLT	10.00	EA
9	WATER STOP	10.00	EA
10	GROUT	10.00	CU YD
11	STEEL BEAM	10.00	LB
12	CONCRETE ANCHOR	10.00	EA
13	ANCHOR BOLT	10.00	EA
14	WATER STOP	10.00	EA
15	GROUT	10.00	CU YD
16	STEEL BEAM	10.00	LB
17	CONCRETE ANCHOR	10.00	EA
18	ANCHOR BOLT	10.00	EA
19	WATER STOP	10.00	EA
20	GROUT	10.00	CU YD

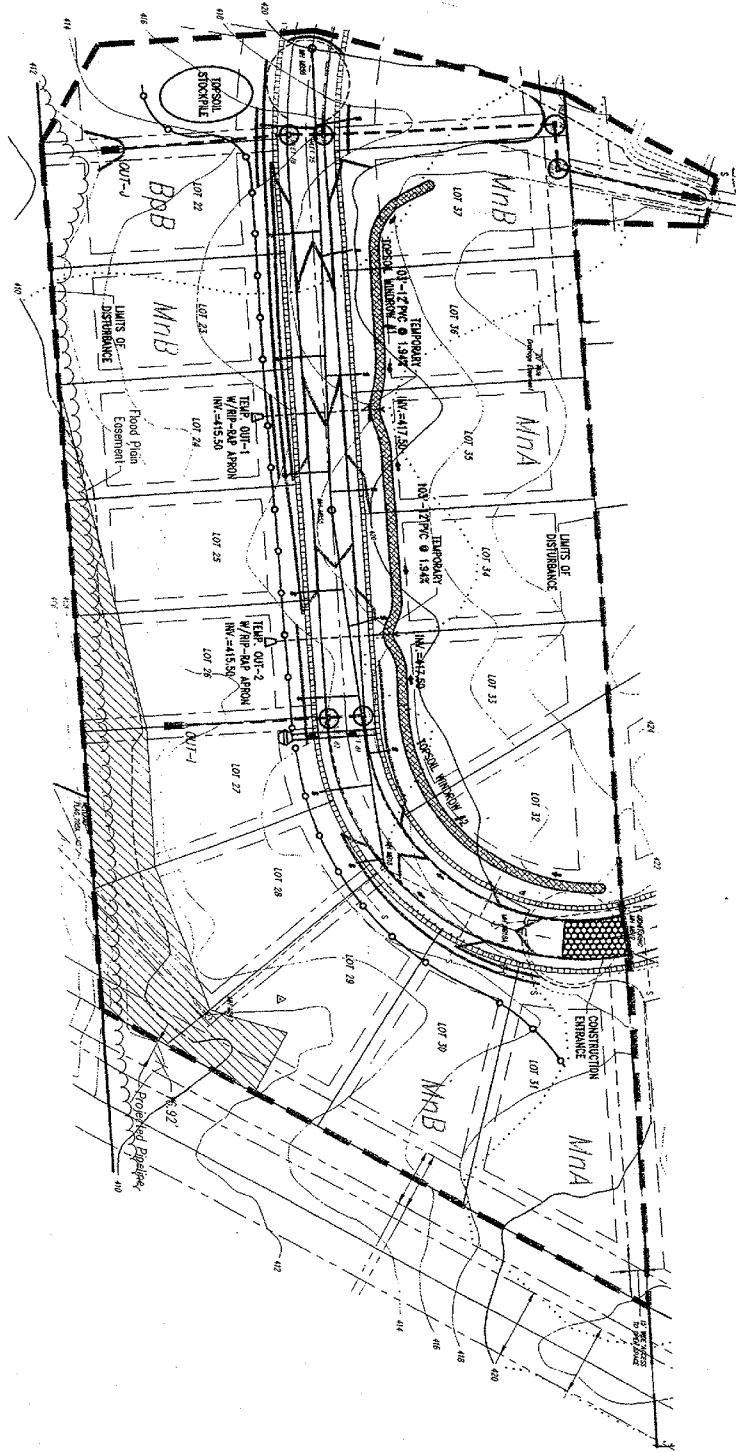
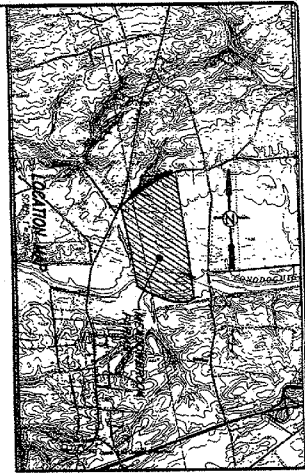


Project: **ADLWORTH PARK SUBDIVISION**  
Phase: **FINAL PLAN PHASE V**  
Drawing: **SEWER CONSTRUCTION DETAILS (STANDARD)**  
Scale: **AS SHOWN**  
Date: **JULY 10, 2005**  
Sheet: **10** of **13**

**TYPICAL METHOD OF PIPE EMBEDMENT AND BONDING FOR PERMANENT SECONDARY PAVEMENT LAYERS**

PIPE SIZE	MINIMUM EMBEDMENT DEPTH	MINIMUM BONDING DEPTH	MINIMUM COVER
12"	18"	12"	12"
15"	24"	18"	18"
18"	30"	24"	24"
21"	36"	30"	30"
24"	42"	36"	36"
30"	54"	48"	48"
36"	66"	60"	60"
42"	78"	72"	72"
48"	90"	84"	84"
54"	102"	96"	96"
60"	114"	108"	108"
66"	126"	120"	120"
72"	138"	132"	132"
78"	150"	144"	144"
84"	162"	156"	156"
90"	174"	168"	168"
96"	186"	180"	180"
102"	198"	192"	192"
108"	210"	204"	204"
114"	222"	216"	216"
120"	234"	228"	228"



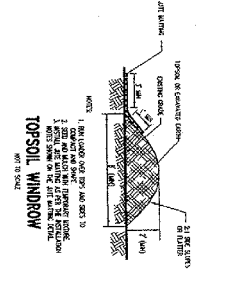
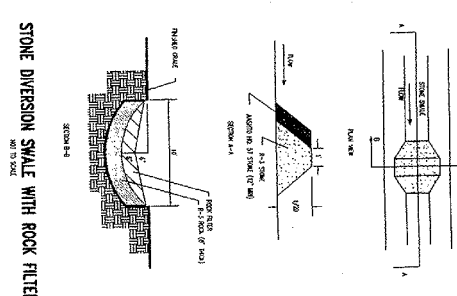
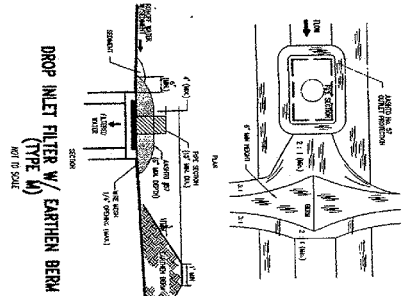
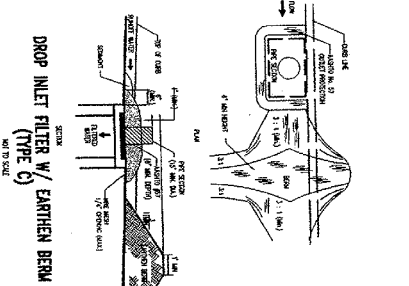
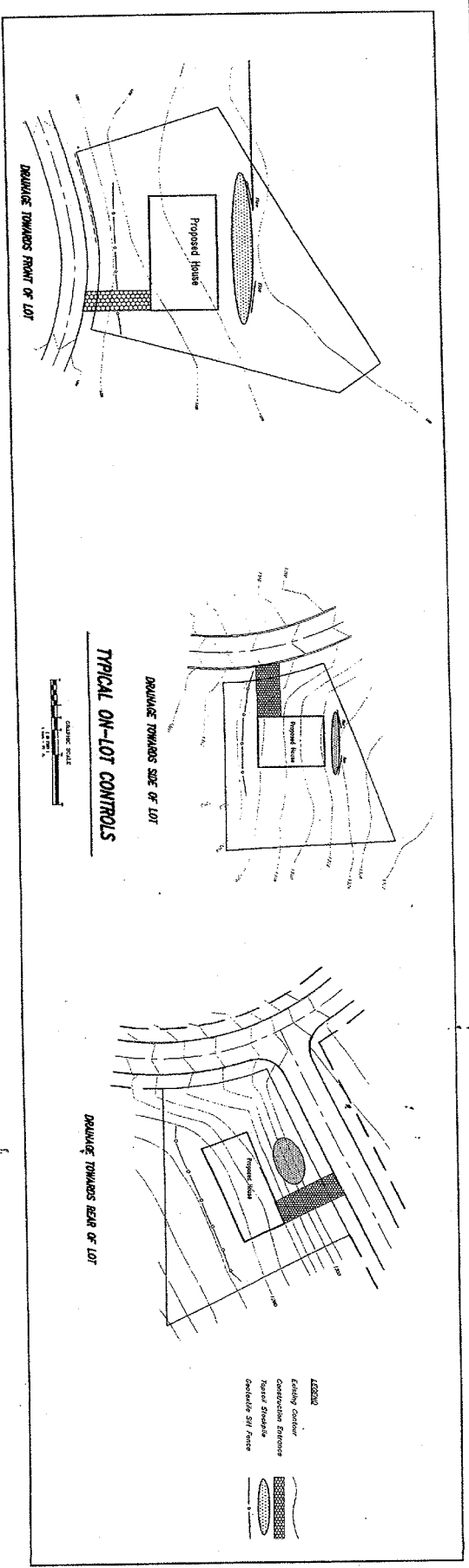


**SOIL TYPES:**  
 SpB - medium silty loam, 1 to 8 percent slopes  
 MuS - Montpelier silty loam, 0 to 3 percent slopes  
 MRB - Montpelier silty loam, 3 to 8 percent slopes



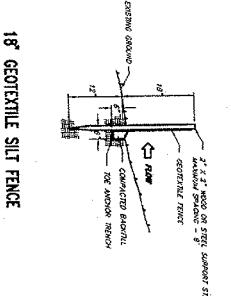
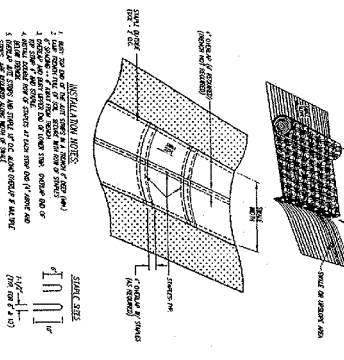
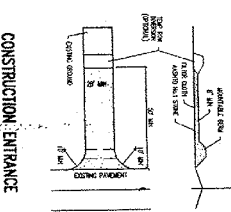
- LEGEND:**
- Wet Swales or Ponds
  - Stone Drainage Swales w/flow Filter
  - Stone Inlet Filter
  - Limits of Disturbance
  - Rip-Rap Slopes
  - Construction Entrance
  - Soil Boundary

<p><b>Pentterra</b> ENGINEERING INC. 2025 QUINCY DRIVE WILMINGTON, MA 01897 PH: 617-201-0224</p>	<p><b>OWNER:</b> M1  <b>DESIGNER:</b> M1  <b>DATE:</b> 07/10/2005  <b>PROJECT NO.:</b> 9219-105  <b>SCALE:</b> 1" = 30'</p>	<p><b>PROJECT NO.:</b> 9219-105  <b>SCALE:</b> 1" = 30'  <b>DATE:</b> 07/10/2005  <b>PROJECT NO.:</b> 9219-105  <b>SCALE:</b> 1" = 30'</p>	<p><b>SOIL EROSION AND SEDIMENT POLLUTION CONTROL PLAN</b>  <b>FINAL PLAN PHASE V</b></p>
--	---	--	---



**RIP-RAP APRON**

DEPTH (ft)	LENGTH (ft)	WIDTH (ft)	AREA (sq ft)	VOLUME (cu ft)	WEIGHT (tons)
0.5	10	10	100	50	1000
1.0	10	10	100	100	2000
1.5	10	10	100	150	3000
2.0	10	10	100	200	4000
2.5	10	10	100	250	5000
3.0	10	10	100	300	6000



**Perierra**  
ENGINEERING INC.  
3000 GARDEN DRIVE  
SUITE 100  
ROSELAND, NJ 07068  
TEL: 814-231-8200

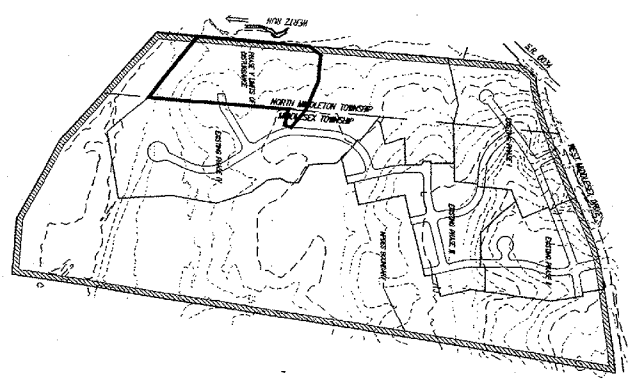
**NEEDHAMBROOK FABRICS**

**FINAL PLAN PHASE V**

**SOIL EROSION AND SEDIMENT CONTROL DETAILS**

DATE: JULY 10, 2005  
SCALE: AS SHOWN  
SHEET NO: 09213-105  
SHEET NO: 12 of 13

- Timing of Erosion Control**
- The contractor shall install erosion control measures on all areas to be graded or excavated as soon as the grading is completed. Erosion control measures shall be installed on all areas to be graded or excavated as soon as the grading is completed.
  - Step 1: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 2: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 3: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 4: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 5: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 6: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 7: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 8: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 9: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 10: Install erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
- Temporary Control Measures**
- The contractor shall install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 1: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 2: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 3: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 4: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 5: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 6: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 7: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 8: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 9: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 10: Install temporary control measures on all areas to be graded or excavated as soon as the grading is completed.
- Final Erosion Control**
- The contractor shall install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 1: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 2: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 3: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 4: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 5: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 6: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 7: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 8: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 9: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.
  - Step 10: Install final erosion control measures on all areas to be graded or excavated as soon as the grading is completed.



<p>Pamlico Environmental Services 2200 College St. Wilmington, NC 28401 Tel: 910-231-8485</p>		<p>Drawn by: [Blank]</p> <p>Checked by: [Blank]</p> <p>Scale: AS SHOWN</p> <p>Project No: 68219-05</p> <p>Sheet No: 13 of 13</p>	
<p><b>MEADOWBROOK FARMS</b></p> <p>MOOREHEAD TOWNSHIP NORTH CAROLINA CHESAPEAKE COUNTY FURNACEVILLE</p>			
<p><b>FINAL PLAN PHASE V</b></p> <p>SOIL EROSION AND SEDIMENT POLLUTION CONTROL NARRATIVE</p>			